

HISTORIC PRESERVATION COMMISSION

Hearing: December 22, 2011
CONSENT AGENDA REPORT

PROJECT INFORMATION

CASE NUMBER: HPC11-00773
CITATION ISSUED: No
ADDRESS: 12 E CHURCH ST
OWNER NAME: Donald Harper, Frederick County Maintenance Department
PREPARED BY: Christina Martinkosky
DATE: December 7, 2011

CONSENT AGENDA

The project described in the application and supporting documents (including notes entered by the chair or staff) will be approved at the December 22, 2011 hearing, unless written or verbal concern is expressed before the Consent Agenda vote is taken. If concerns are expressed, the case will be put on the regular agenda at the hearing.

The following work is considered in keeping with the *Frederick Town Historic District Design Guidelines* without further discussion:

Remove and replace an existing retaining wall and two planters that are located on the east side of Winchester Hall. These structures were originally constructed in 1975. All details, including the rowlock brick cap, will be replicated to match the existing features. The brick steps located between the planter and retaining wall will be reconstructed with the same design and materials. All brick used to reconstruct the planters, retaining wall, and steps will match the current brick in size, texture, and color to be approved by staff. The metal railing located on top of the retaining wall will be replaced with a similar railing that meets current Code requirements. The only alteration to the current design will be the addition of a 12" gutter pan and a 6" concrete curb alongside the retaining wall and easternmost planter, which will separate the structure from the asphalt parking area.

COMPLIANCE WITH HPC GUIDELINES

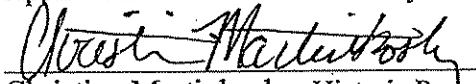
This application is complete: ☒ Yes No

This application meets the *Frederick Town Historic District Design Guidelines*: Yes No

MATERIALS TO BE APPROVED

- Drawings CS, C-1, C-2, S-1, and S-2 by Meyer Consulting Engineers Corp
- Four (4) pages of photographs showing the current condition of the existing retaining wall and two planters

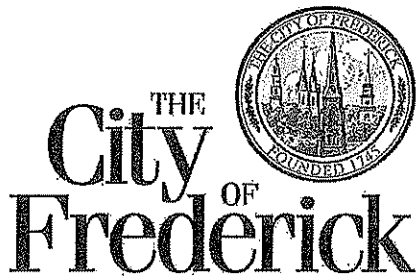
Application determined technically complete:

A handwritten signature in cursive script, appearing to read "Christina Martinkosky".

Christina Martinkosky, Historic Preservation Planner

A handwritten signature in cursive script, appearing to read "Matthew Davis".

Matthew Davis, AICP, Manager of Comprehensive Planning



Exterior Rehabilitation and Additions

For Official Use Only	
HPC Case Number:	11-773
Date Submitted:	Amt. Paid:
Hearing Date:	
Fee Schedule	
Residential&duplex (less than \$500 improvement)	\$ 5.00
Residential&Duplex (between \$501-\$5000 improvement)	\$20.00
Residential&Duplex (greater than \$5000.00 improvement)	\$50.00
Commercial & Multi-family (less than \$500 improvement)	\$10.00
Commercial & Multi-family (between \$501-\$5000 improvement)	\$ 50.00
Commercial & Multi-family (greater than \$5000 improvement)	\$250.00

Planning Department * 140 West Patrick Street * Frederick, Maryland 21701 * 301.600.1499

HISTORIC PRESERVATION COMMISSION APPLICATION EXTERIOR REHABILITATION AND ADDITIONS

All work in the historic district must comply with the *Frederick Town Historic District Design Guidelines*. The guidelines are available on the City's website (www.cityoffrederick.com), at the C. Burr Artz Library, and in the Planning Department at the Municipal Office Annex, 140 West Patrick Street.

Instructions: Submit the original application, required fees, and THIRTEEN (13) copies of the application and all supporting documents no later than 1:00 p.m. on either the first or third Thursday of the month, in order to be heard at the next workshop and hearing. Applications for work that can be approved by staff (administrative approvals) can be submitted at any time and only the original and one (1) copy need to be submitted. **This form must be completed in its entirety, with attachments, before it will be considered by the HPC or scheduled for staff approval.** Workshop and hearing attendance is mandatory for a case to be heard by the HPC. For further information, contact the Planning Department at 301-600-1499.

PROPERTY ADDRESS 12 E. Church St., Frederick, MD 21701	Tax ID: 02-122235 Lot Number: 1
OWNER INFORMATION	
Name: Board of County Commissioners of Frederick County	
Address: 12 E. Church St.	
City/State/Zip: Frederick, MD 21701	
Phone:	email:
AGENT INFORMATION (Agent Authorization Form required if owner will not represent the property)	
Contact Name: Donald Harper	
Firm/Company: FCDPW	
Address: 118 N. Market St.	
City/State/Zip: Frederick, MD 21701	
Phone: 301-600-1585	email: dharper@frederickcountymd.gov
BRIEFLY DESCRIBE ALL PROPOSED WORK (details required on page 2)	
Removal and replacement of an existing masonry retaining wall and an existing masonry planter on the east side of Winchester Hall.	

OWNER OR AGENT SIGNATURE

I hereby certify that the owner or his/her agent will make every effort to attend the Historic Preservation Commission workshop and hearing for which this application is scheduled. I understand that should the owner or his/her agent fail to attend this meeting, the HPC will continue this case until the next regular public meeting. This certification constitutes my agreement to an extension of the 45-day review period, as set forth in Art. 66B Sec. 8.12(e) of the Maryland Code and Sec. 423(d)(8) of the Land Management Code, in the event that I fail to attend the aforementioned meetings. My application may be continued no more than two (2) times. If I fail to attend the meeting following the second continuance, I understand that my application will be deemed to be withdrawn and no further action will be taken by the Commission.

I/we have reviewed the *Frederick Town Historic District Guidelines* dh (initial)

I/we agree to post a copy of the Certificate of Approval (COA) along with the permit on the subject premises in a place of public view dh (initial)

☒ Please check here if the HPC and staff have permission to enter the yard to view the project.

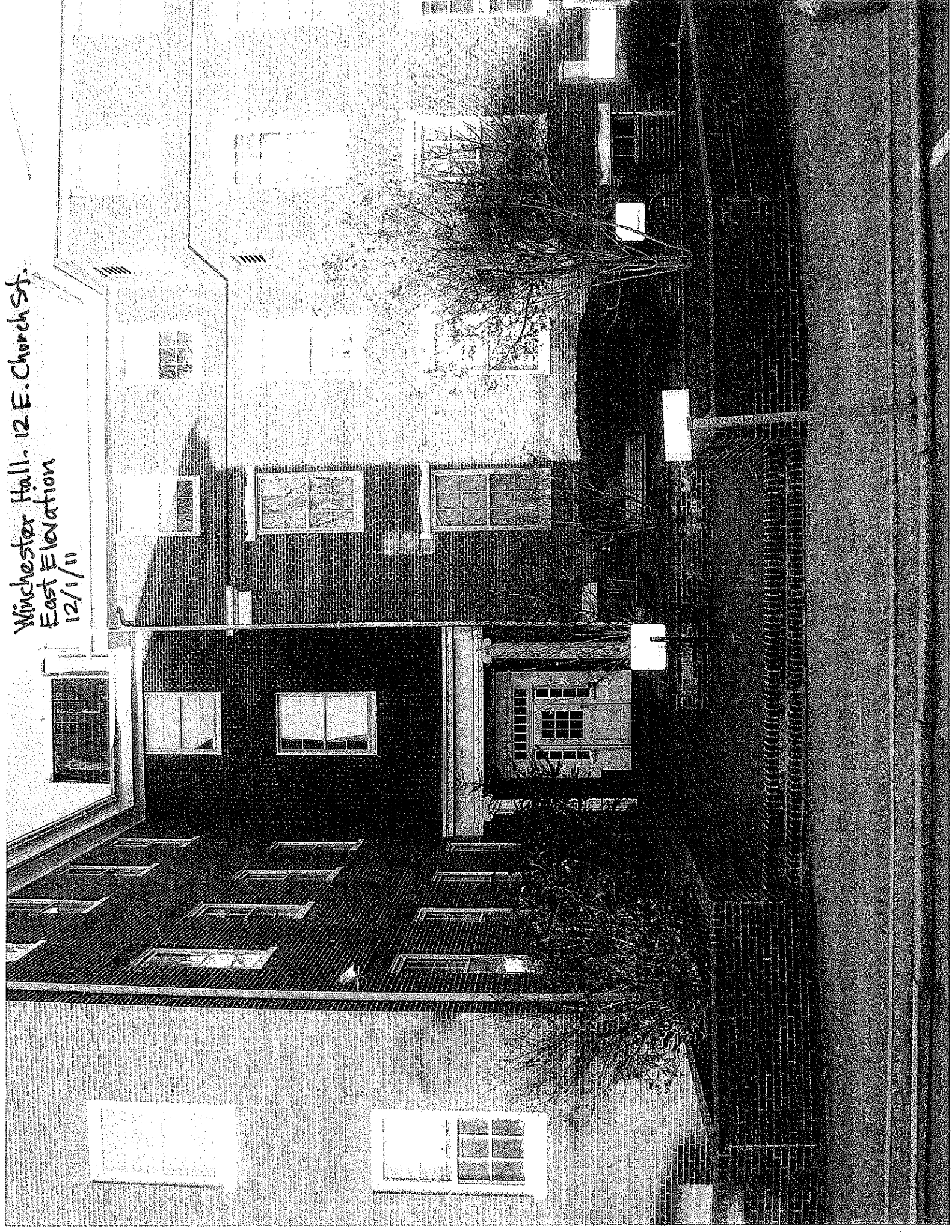
☐ Please check here if this case has been cited by Code Enforcement and attach a copy of the citation letter.

Donald Harper
Property Owner or Agent/Signature

12/1/11
Date

Winchester Hall - 12 E. Chorch St.
North Elevation
12/1/11



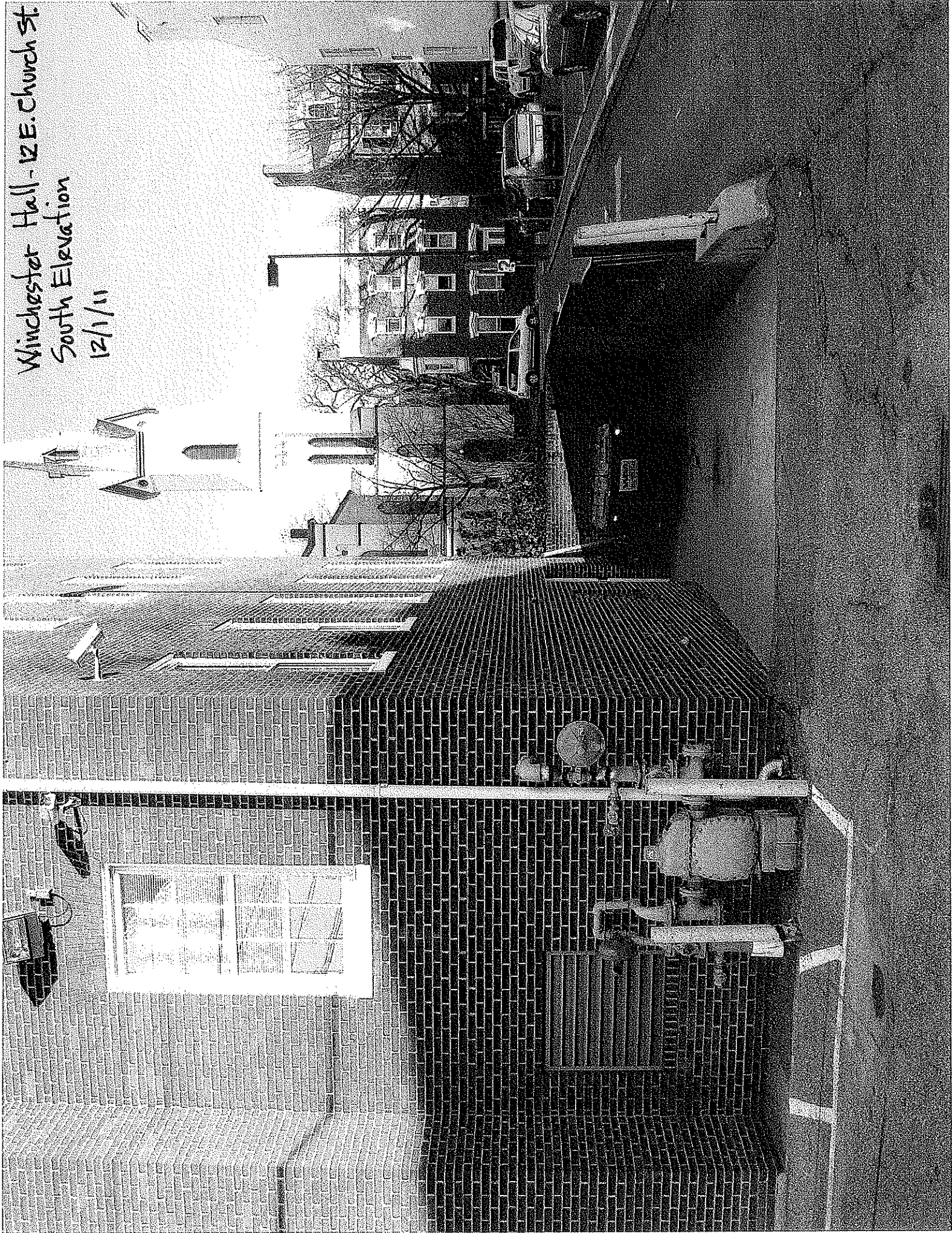


Winchester Hall - 12 E. Church St.
East Elevation
12/1/11



Winchester Hall-12 E. Church St.
East Elevation
12/1/11

Winchester Hall - 12 E. Church St.
South Elevation
12/1/11



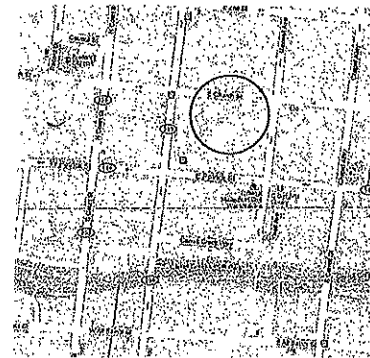
WINCHESTER HALL RETAINING WALL AND PLANTER REPLACEMENT

12 EAST CHURCH STREET, FREDERICK, MD 21701
BID # 12-CP-08

SCOPE OF WORK:

1. Protect all existing pavers in plaza area and existing brick beyond the area of work.
2. Install approved temporary supports and shoring as required.
3. Erect work separation zone to prevent public access to work area.
4. Demolish existing damaged retaining walls.
5. Replace existing bollards and metal railings.
6. Construct new retaining walls, concrete slab on grade and pavement
7. Replace planter walls
8. Clean existing brick with efflorescence, where existing brick is not structurally damaged and will not be replaced.
9. Patch plaza and replace plaza pavers.

SITE



LIST OF DRAWINGS

CS: Cover Sheet
C-1: Plans, Site Details & Notes
C-2: Site Plan & Details
S-1: Plan, Railing Details & Structural Notes
S-2: Details & Sections

BUILDING CODE

* 2009 INTERNATIONAL BUILDING CODE

REVISIONS:
MAY 25, 2011: 50% COORDINATION
AUG. 8, 2011: 45% COORDINATION
SEP. 28, 2011: 100% SUBMISSION



COVER SHEET

Winchester Hall Retaining Wall
and Planter Replacement

Client: FREDERICK COUNTY DIVISION OF PUBLIC WORKS

Consultants: Meyer Consulting Engineers Corp.

451 Hungerford Drive Suite 600
Rockville, Maryland 20850

Harris, Smariga & Associates, Inc.

125 South Carroll Street, Suite 100,
Frederick, Maryland 21701

TEL: (301) 738-5690
FAX: (301) 738-5695

TEL: (301) 662-4488
FAX: (301) 662-4906

FREDERICK COUNTY DIVISION OF PUBLIC WORKS	
REVIEWED: <i>[Signature]</i>	DATE: 10/12/11
THOMAS HEUER, P.E., DIRECTOR	
REVIEWED: <i>[Signature]</i>	DATE: 10/12/11
DONALD HARPER, PROJECT MANAGER	

The above signatures are for the County's purpose of undertaking the design process with the program objectives and to authorize the project to proceed to the next stage in the construction process. This review does not in any way release the Architect/Engineer of their responsibility for the professional quality, technical adequacy, and coordination of all designs, drawings, specifications, and other services furnished under this contract.

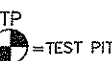
MCER, MH074-LS

© COPY

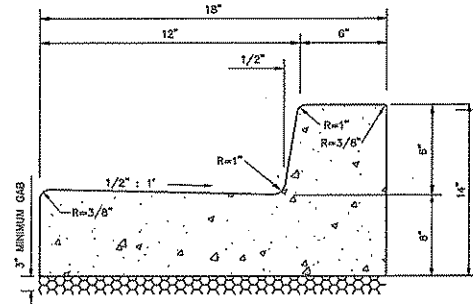
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NOVEMBER 8, 2011

CS



NOVEMBER 8, 2011

[illegible]

NOTES:

1. MSHA MIX NO. 2 CONCRETE.
2. IF HAND FORMED USE STEEL TROWEL WITH BRUSHED FINISH. IF CURB IS EXTRUDED BRUSHED FINISH.
3. CONCRETE SHALL BE SPRAYED WITH LIQUID CURING COMPOUND AS PER CURING COMPOUND MANUFACTURER'S INSTRUCTIONS. THE CURING COMPOUND REQUIRED AS PER CITY SPECIFICATIONS 03300-3 C.
4. FORMS SHALL BE STEEL FORMS WITH THE EXCEPTION OF APPROVED FLEXIBLE FORMS FOR RADIAL FORMATION.

Diagram illustrating the cross-section of a concrete slab repair. The repair is composed of three layers: a 2" surface course (9.5mm superpave), a 3" base course (19.0mm superpave), and a 6" GSB base course. The repair is bonded to the existing slab with epoxy bonding compound on the exposed face. A saw cut is shown to remove the existing slab. The repair is supported by an approved subgrade.

Labels in the diagram include:

- 2" SURFACE COURSE (9.5mm SUPERPAVE)
- 3" BASE COURSE (19.0mm SUPERPAVE)
- 6" GSB BASE COURSE
- SAW CUT TO REMOVE
- EX. SLAB
- EPOXY BONDING COMPOUND ON EXPOSED FACE
- 7" CONCRETE SLAB $\frac{1}{2}$ " Ø 12" C/C E.W.
- 4" - MSHA GA BASE (GAB)
- APPROVED SUBGRADE

CONCRETE RAMP

1. FILL AREAS TO BE PAVED SHALL HAVE SOIL PLACED IN 6" LIFTS & COMPACTED TO 95% OF MAX. DENSITY. THE LAST TWO LIFTS SHALL BE COMPACTED TO 98% OF MAX. DENSITY. MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH AASHTO T-99 METHOD C.
2. PRIOR TO PAVING, SOFT OR UNSUITABLE AREAS SHALL BE REMOVED & BACKFILLED WITH SUITABLE MATERIAL TO THE REQUIREMENTS OF NO. 1 ABOVE.
3. NO PAVEMENT SHALL BE PLACED ON FROZEN OR FROSTED SUBGRADE NOR ON SUBGRADES THAT WILL NOT ADEQUATELY SUPPORT THE PAVEMENT.
4. IF ROCK IS ENCOUNTERED IN THE SUBGRADE, REMOVE AN ADDITIONAL 6" BELOW SUBGRADE & BACKFILL WITH SUITABLE MATERIAL TO THE REQUIREMENTS OF NO. 1 ABOVE

SITE PLAN & DETAILS

WINCHESTER HALL
RETAINING WALL AND
PLANTER REPLACEMENT

SITUATED ON EAST CHURCH ST.
FREDERICK, MARYLAND
FREDERICK ELECTION DISTRICT 1
FREDERICK COUNTY, MARYLAND

SCALE: 1"= 5'
DRAWN BY: DLS
CHECKED BY: TMM
DATE: NOV. 8, 2011
SHEET: 1 OF: 1
PROJECT: 7341-6-0000
C-2

MCE# M11074-LE

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STRUCTURAL NOTES

Loads
Lateral Pressure - 45 psf/ft (Assumed)

1-1 Contractor shall comply with the provisions of the local Building Code and any other Local, State or Federal Regulations.

1-2 The general contractor shall review all shop drawings before submission to the engineer and make all corrections as he deems necessary and shall certify on each drawing as follows:

"I certify that the contract document requirements have been met and all dimensions, conditions and quantities are verified as shown and/or as corrected on this drawing.

Signed _____
(for general contractor)

1-3 At the time of shop drawing submission, the general contractor shall inform the engineer in writing of any deviations or omissions from the contract documents.

1-4 The contractor shall support adjacent structures, utilities, and excavations. The contractor shall submit shop drawings and design calculations certified by a registered professional engineer for all temporary formwork, shoring, and underpinning as a part of the contractor's work. Contractor shall verify the location of all existing site conditions, structures and utilities prior to commencing work and report discrepancies to the Engineer.

1-5 Inspection - The Owner may employ the Engineer or a qualified inspection agency to perform any or all of the services specified herein. The Contractor shall afford full cooperation to laboratory personnel and shall provide adequate notice before beginning operations requiring laboratory services. The Testing Laboratory shall make immediate report of all tests and observations and distribute copies as follows: Owner, Architect, Engineer, and Contractor. (one copy each).

1-6 Shop drawings for all structural items must be submitted by the General Contractor. If a Contractor or Owner fails to submit the shop drawings, the firm Meyer Consulting Engineers will not be responsible for the structural certification and/or the design of the project.

1-7 Footings are designed for an assumed bearing capacity of 2000 PSF. Footings shall bear on natural undisturbed soil, 1'-0" below original grade and bottom of exterior footing shall be 2'-6" below finished grade. Contractor shall verify soil pressure in the field. If found to be less than 2000 PSF, the footings will have to be redesigned.

1-8 All fill and backfill material, all footing bearing, excavations, and compaction control shall be inspected and approved in writing by a Qualified Engineer. Backfill and compact both sides simultaneously in equal lifts do not backfill until the concrete has reached full 28 day strength.

1-9 All formwork shall be in accordance with the American Concrete Institute's "Formwork of Concrete", special publication No. 4 and ACI's "Standard Recommended Practice of Concrete Formwork" (ACI-347-latest edition).

1-10 Except as noted, all reinforcing shall be high strength new billet steel conforming to ASTM designation A615 (fy = 60,000 psi). All stirrups and ties shall be new intermediate grade steel conforming to ASTM designation A615 (fy = 60,000 psi). All reinforcing shall be detailed, fabricated, and placed in accordance with the ACI's "Manual of Standard Practice for Detailing Concrete Structures" (ACI 318).

1-11 All concrete work shall be in accordance with the requirements of the American Concrete Institute Code (ACI 318 - latest edition).

1-12 All concrete, except as noted elsewhere, shall be (f'c = 3000 psi) natural hard rock aggregate concrete. All exterior concrete shall be air-entrained at minimum 3% to maximum 6%.

1-13 Contractor must submit a concrete design mix in accordance with ACI 318 (latest local approved edition) for approval by the Engineer. Such design mix shall be accompanied by the appropriate graphs and background data. Concrete design mix shall indicate 1 and 28 day strengths, cement content and water cement ratio, fine and coarse aggregates and admixtures for each design strength.

SOILS

2.1 Footings are designed for an assumed bearing capacity of 2000 PSF. All new footings shall bear on natural undisturbed soil or compacted, structural fill, at least 1'-0" below original grade and bottom of exterior footing shall be a minimum of 2'-0" below finished grade. Contractor shall verify soil pressure in the field. If found to be less than 2000 PSF, the footings will have to be redesigned.

2.2 All fill under slabs shall be coarse granular material compacted to 95% of maximum density at optimum water content.

2.3 All fill and backfill material, all footing bearing, excavations, and compaction control shall be inspected and approved in writing by a Qualified Engineer.

2.4 Utility lines shall not be placed through, or below foundations without the Engineer's approval. All excavations to be approved by proper authorities prior to the placing of foundations.

2.5 Where backfill is required on both sides of walls, backfill both sides simultaneously.

2.6 Soils acceptable as structural fill for retaining wall and pavement areas should be classified in accordance with ASTM D 2487 as GM, GC, SM, SC, CL, and ML or combinations thereof. All structural fill and backfill soils should possess a liquid limit less than 45 percent, a plasticity index less than 20 percent, be free of organic material, roots and frozen material, and contains no particles greater than three inches in dimension.

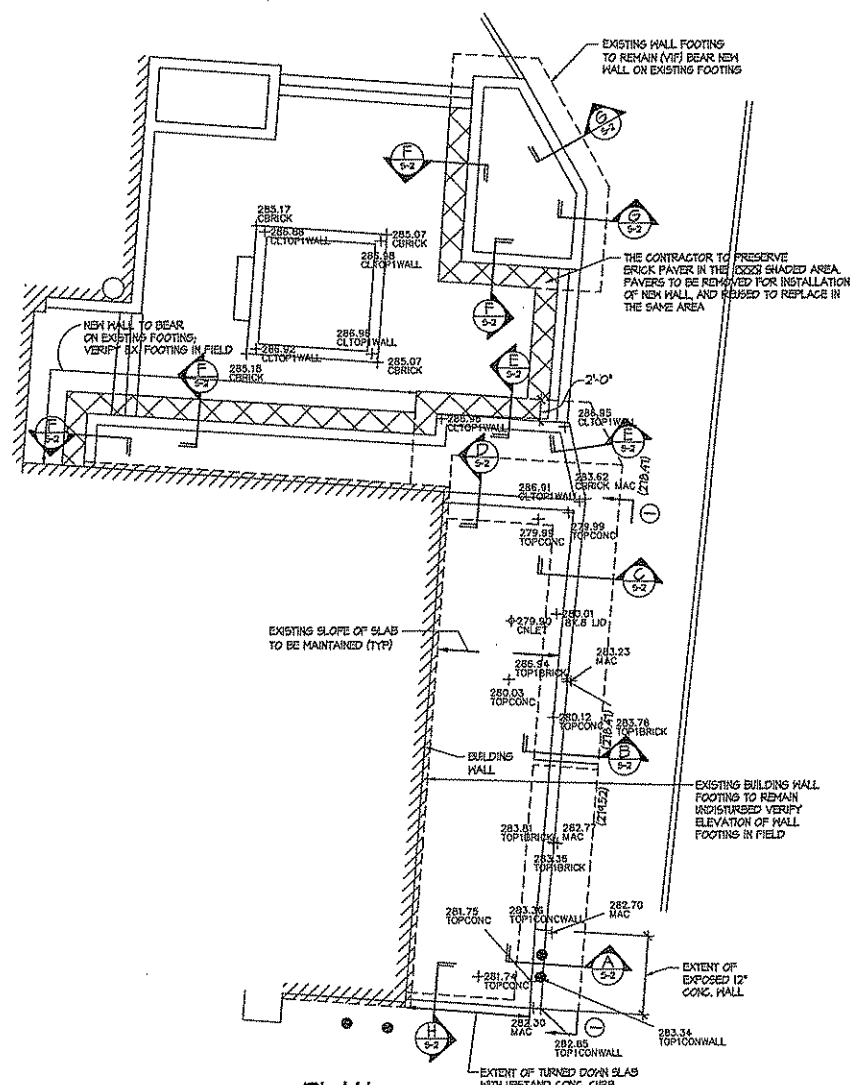
2.7 Compacted, structural fill should be placed in maximum eight-inch thick loose lifts and compacted to at least 95 percent of the maximum dry density as determined by the Standard Proctor compaction test (ASTM D698). Soil moisture during placement should be maintained within two percentage points of the optimum moisture content as determined by the Standard Proctor compaction tests. The fill material should be placed in horizontal lifts and adequately keyed into stripped and scarified subgrade soils. In confined areas such as utility trenches, portable compaction equipment and thin lifts of six inches may be required to achieve the specified degree of compaction.

2.8 We recommend that compacted fill placement be observed by the Owner's qualified representative and that frequent field density and moisture tests be performed to verify that the specified degree of compaction is being achieved. Any soil structural fill or backfill lifts that do not meet the compaction specifications should be reworked for moisture correction, if necessary, and recompacted to achieve compliance.

2.9 Where applicable, the fill surface should be gently sloped and sealed with rubber lined or steel drummed equipment at the end of each day's operations and when precipitation is expected, this will improve surface run-off and minimize construction delays caused by the effects of ponding water. All sloped areas to receive fill should be properly benching.

3.0 Continuous monitoring of the grading and fill placement is recommended in order to document compliance with the project specification and the recommendations contained herein.

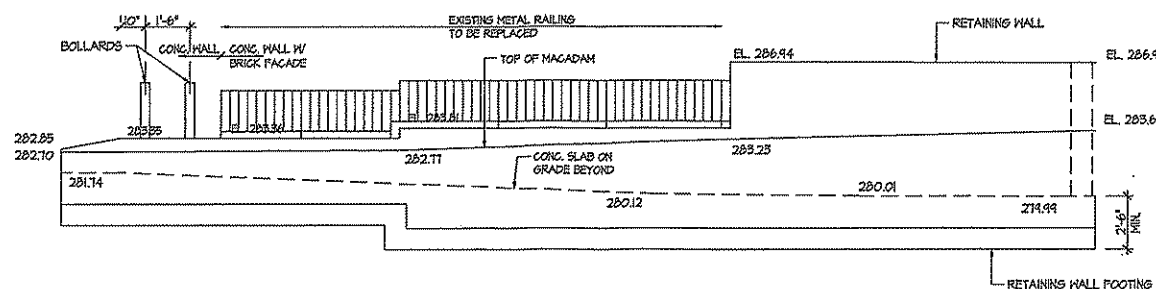
3.1 Approval of subgrade and fill placement should be achieved by performing field density tests in accordance with ASTM D 2922 (Nuclear Method) or ASTM D 1556 (Sand-Cone Method). Field density tests should be performed as needed to verify that adequate compactive effort is being used. A daily field report should be submitted by Owner's representative for each day's work, summarizing the foundation construction observations, compaction test results, observations, and the contractor's activities.



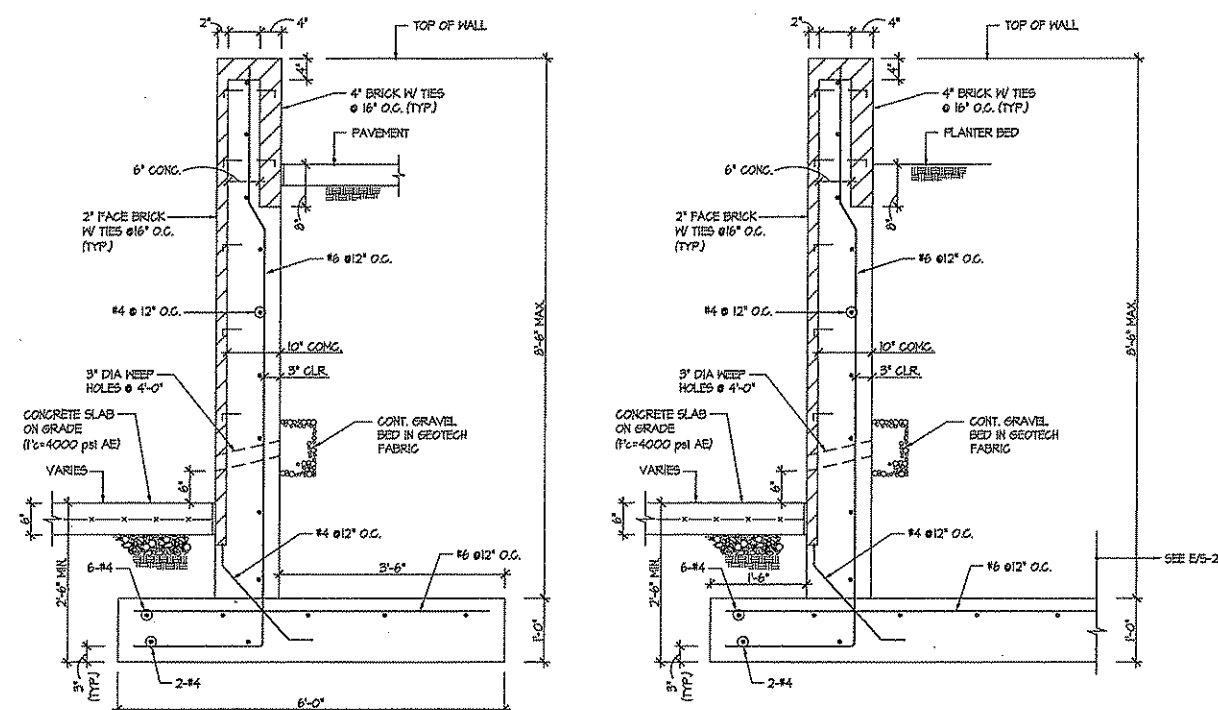
PLAN

SCALE: 1/8" = 1'-0"

- NOTE: 1. ALL NEW BRICK TO MATCH EXISTING BRICK.
2. ALL NEW BRICK TO BE USED IN THE PROJECT SHALL BE SUBJECT TO APPROVAL BY OWNER.
3. PROVIDE SILANE BASED SEALANT WITH 40% ALKYL TRIALKOXYSILOANE ON ENTIRE EXPOSED CONCRETE SLAB ON GRADE AT LOADING AREA.
4. CONTRACTOR TO BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE OWNER'S PROPERTY CAUSED BY THE CONTRACTOR'S ACTIVITIES, TO EQUAL OR BETTER CONDITION.



REVISIONS:
MAY 23, 2011: 50% COORDINATION
AUG. 8, 2011: 95% COORDINATION
SEP. 28, 2011: 100% SUBMISSION



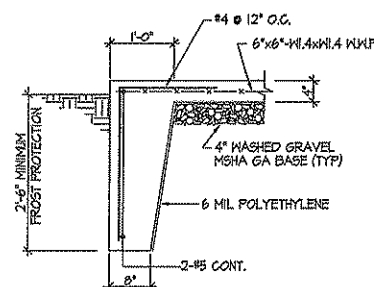
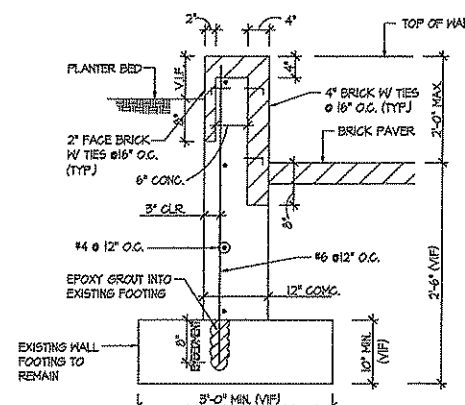
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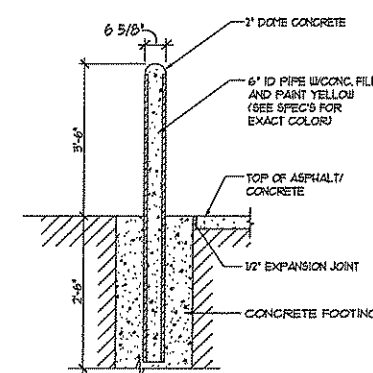
C

10

- (1). PROVIDE CRACK CONTROL JOINTS @ 10'-0" O.C. ON EXPOSED FACE.
- (2). EXPANSION JOINT @ 40'-0" O.C. AND WHEN WALL CHANGES DIRECTION.
- (3). DO NOT EXTEND HORIZONTAL REINF. THRU EXPANSION JOINT.



TYPICAL STEP FOOTING
NTS



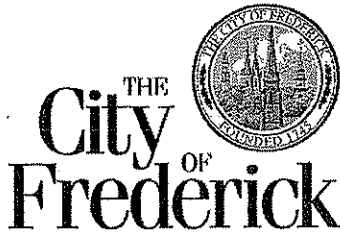
TYPICAL BOLLARD DETAIL
N.T.S.



Winchester Hall Retaining Wall and Planter Replacement

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S-2



HISTORIC PRESERVATION COMMISSION
Hearing: December 22, 2011
Staff Report

PROJECT INFORMATION

CASE NUMBER: PZ-11-00725
CITATION ISSUED: No
ADDRESS: 2 Clark Place
APPLICANT NAME: Charles Riser
PREPARED BY: Christina Martinkosky
DATE: December 6, 2011

PROJECT DESCRIPTION

The applicant seeks to enclose the rear yard by installing a solid board fence with a cap board. The proposed fence will be 6' in height and will be made of cedar. It will feature decorative cedar caps on top of the posts. This application also includes the construction of two gates that will be 48" wide and will be constructed with the same material and styling as the rest of the fence.

ZONING AND DEVELOPMENT REVIEW PRELIMINARY ASSESSMENT

COMPLIANCE WITH HPC GUIDELINES

This application meets submission requirements: ☒ Yes ☐ No

This application meets the *Frederick Town Historic District Design Guidelines*:

☒ Yes ☐ No

STAFF COMMENTS:

The proposed solid board fence is an appropriate choice for the Frederick Town Historic District and they are generally approved by the Historic Preservation Commission.

The placement of fences and walls in Frederick must correspond with the City Code, which specifies that fences cannot extend beyond the front façade of a building and that corner lots must leave the sight triangle unfenced. Staff finds no issues concerning the placement of the proposed fence.

The height of fences and walls is also regulated by the City Code. The code allows fences and walls to be 6' high, including posts, as measured from the outside of the fence. The proposed height of the fence does meet these requirements. However, the *Frederick Town Historic District Design Guidelines* states that "The Commission might not approve a fence at the maximum height allowed. In fact, the Commission encourages lower fences in backyards to correspond with

historic patterns and to preserve sight lines" (pg. 123). Given the prominent corner location of this property, Staff finds that a 6' fence would be unsympathetic to the historic character of the neighborhood. The dwelling at 2 Clark Place is an extraordinary example of Queen Anne architecture with fine detailing on all elevations of the house, rather than just the front facade. The construction of a 6' fence will obscure many of the architectural detailing that makes this house and surrounding neighborhood unique.

STAFF RECOMMENDATION

Staff recognizes that the proposed solid board fence meets the standards set by the *Frederick Town Historic District Design Guidelines*, but suggests that it may be appropriate to lower the height of the fence to correspond with historic patterns and to preserve sight lines.

Staff recommends approval of a solid board fence with a cap board with the condition that the fence is oriented with the finished, or "beauty side," facing outward towards surrounding properties and right-of-way.

Application determined technically complete:


Christina Martinkosky, Historic Preservation Planner


Matthew Davis, AICP, Manager of Comprehensive Planning



Signs and Fences

For Official Use Only	
HPC Case Number:	11-725
Date Submitted:	Amt. Paid:
Hearing Date:	
Fee Schedule	
Signs	\$20.00
Fences	\$20.00

Planning Department * 140 West Patrick Street * Frederick, Maryland 21701 * 301.600.1499

HISTORIC PRESERVATION COMMISSION APPLICATION- SIGNS AND FENCES

All work in the historic district must comply with the *Frederick Town Historic District Design Guidelines* and the *Secretary of the Interior's Standards and Guidelines for Rehabilitation*. The guidelines are available on the City's website (cityoffrederick.com), at the C. Burr Artz Library, and in the Planning Department at 140 West Patrick Street.

Instructions: This form must be completed in its entirety, with attachments, before it will be considered. Incomplete applications can result in project delays. Submit the original application with supporting documents and one copy to the Planning Department. Because most sign and fence applications can be approved through the administrative approval process, they can be submitted at any time. For further information, contact the Planning Department at 301-600-1499.

PROPERTY ADDRESS		Tax ID: 055228	Lot Number: LT 50x178
2 Clark Place			
OWNER INFORMATION			
Name: CHARLES RISER			
Firm/Company: N/A			
Address: 2 Clark Place			
City/State/Zip: Frederick MD 21701			
Phone: 301.682.7550 email:			
AGENT INFORMATION (if applicable, see attached Agent Authorization Form)			
Contact Name: Cathery McGee			
Firm/Company: PBT			
Address: 1 E Church St.			
City/State/Zip: Frederick MD 21701			
Phone: 301.694.3110 email: info@porterbrookinc.com			
DESCRIBE PROPOSED WORK install a 6ft. privacy fence around perimeter of property			
DESCRIBE EXISTING SIGNS OR FENCES (materials, dimensions, locations)			

OWNER OR AGENT SIGNATURE

I hereby certify that the owner or his/her agent will make every effort to attend the Historic Preservation Commission workshop and hearing for which this application is scheduled. I understand that should the owner or his/her agent fail to attend this meeting, the HPC will continue this case until the next regular public meeting. This certification constitutes my agreement to an extension of the 45-day review period, as set forth in Art. 66B Sec. 8.12(e) of the Maryland Code and Sec. 423(d)(8) of the Land Management Code, in the event that I fail to attend the aforementioned meetings. My application may be continued no more than two (2) times. If I fail to attend the meeting following the second continuance, I understand that my application will be deemed to be withdrawn and no further action will be taken by the Commission.

I/we have reviewed the *Frederick Town Historic District Guidelines* CM (initial)

I/we agree to post a copy of the Certificate of Approval (COA) along with the permit on the subject premises in a place of public view CM (initial)

☒ Please check here if the HPC and staff have permission to enter the yard to view the project.

☐ Please check here if this case has been cited by Code Enforcement and attach a copy of the citation letter.

C. McGee
Property Owner or Agent Signature

10/4/11
Date

HISTORICAL INFORMATION - Optional

Please provide as much of the following information as possible.

1. Date of construction _____ Source of information _____
2. Former uses, if different from present use, and approximate dates of those uses

3. Major additions and alterations to building; include dates in parentheses.

Provide additional history, if known, and sources of information. Use additional sheets if necessary.

PRIOR HPC CASES

Hearing Date	Case Number	Work Approved or Denied

SIGNS – CHECKLIST OF REQUIRED MATERIALS

Check items that are attached. An original and 1 copy of each item is required.

- ☐ Scale drawing of each proposed sign, including dimensions, construction materials, finish, font size and style of lettering, and color.
- ☐ Hardware. Details about attachment hardware. For hanging signs include an illustration of the bracket with dimensions.
- ☐ Photos of the building façade(s) where the sign(s) will be attached. One original color photo is required; the copy can be black-and-white or color. All photos must be labeled with address, date, and HDC case number.
- ☐ Elevation of façade showing sign placement, building dimensions, and existing sign(s) that will remain.

FENCES – CHECKLIST OF REQUIRED MATERIALS

Check items that are attached. An original and 1 copy of each item is required.

- ☒ Site plan. The site plan must include lot lines, adjacent streets and alleys, the footprint of all buildings and structures, and existing and proposed fencing. The plan must clearly indicate the proposed placement of gates. Walls of neighboring buildings and structures must also be shown. If possible, please scale drawings to 1"=10' or 1"=20'.
- ☒ Photos. One set of color photos must show where the proposed fence will be installed, the back and front facades of the major building on the site, and adjacent lots that will be affected by the fence. A black-and-white or color photocopy of the photographs also must be submitted. Please label each photo with the address, date, identification of the view, and HPC case number.
- ☒ Product Information. A catalogue cut or other picture or photo of the proposed fence and gates must be included. The construction materials, dimensions, and style must be indicated.



Planning Department * 140 W. Patrick Street * Frederick, Maryland 21701 * 301.600.1499

AGENT AUTHORIZATION LETTER

I / WE, CHARLES RISER, representing
(Individual's name -- please type or print in ink)
SELF
(Corporate name, if applicable)

being the current owner(s) of the property legally described as follows:

do hereby designate and authorize CATHEY MCBEE
(Individual's name -- please type or print in ink)
representing, PORTER BROOK II, INC
(Corporate name, if applicable)

to act as my / our agent in applying to the City of Frederick for _____

_____ approval in conjunction with the
FENCE project involving the property described above, and
to sign on my / our behalf all application forms and other documents which may be necessary for this purpose.
[Signature] CHARLES RISER
(Signature of property owner) (Type or print name of signatory)

N/A
(Title and corporate name, if applicable)

State of Maryland, County of Frederick

The foregoing indenture was acknowledged before me this
9th day of November, 2011
by Charles Riser
who is personally known to me, or who has produced

as identification, and who did / did not take an oath.

Kimberly D. Collins, Notary Public, State of Maryland
(Notary's signature)

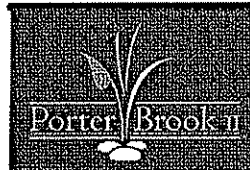
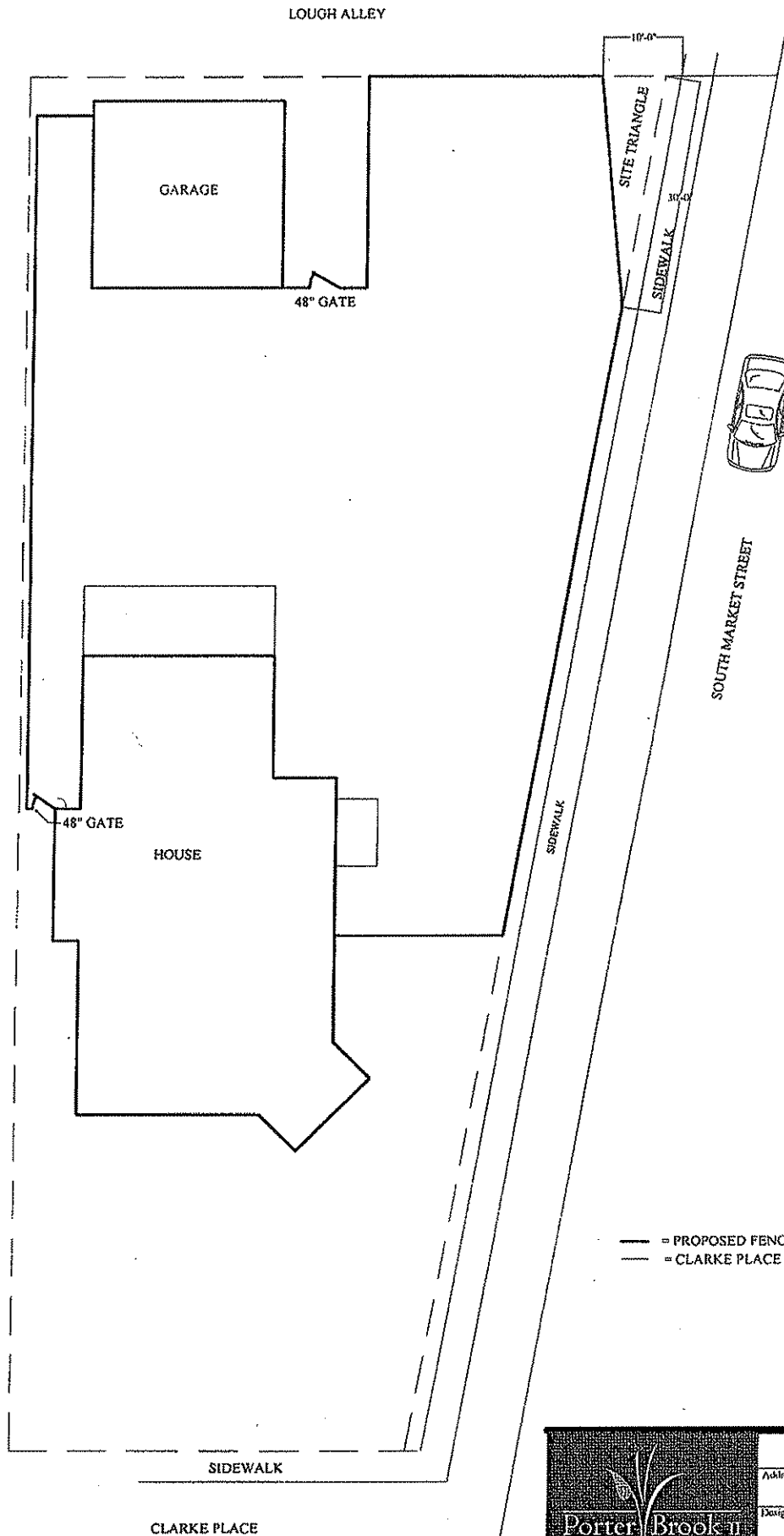
Commission No. _____ My Commission Expires: 5/10/2015

Name of notary (typed, printed, or stamped) Kimberly D. Collins

Rev. 2/11/08

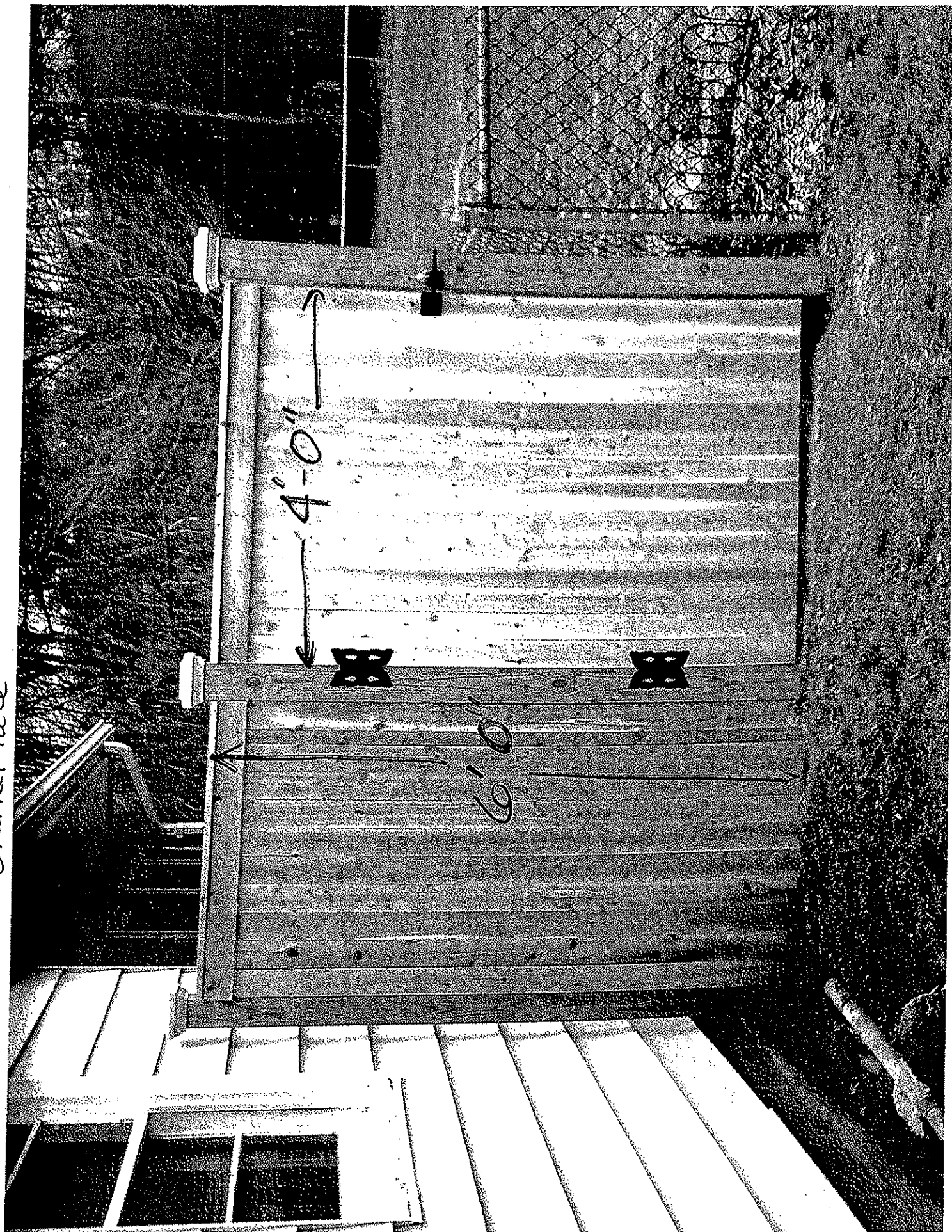
C:\Documents and Settings\krichardson\Desktop\NewWebsite\apps\planning\agent authorization.doc

Site PLAN



The Riser Residence			
Address			
2 CLARKE PLACE, FREDERICK, MD 21701			
Design By	Sean Porter	Date	10/24/11
Rev.		Scale	1"=20'-0"

2 Clarke Place



2 Clarke Place

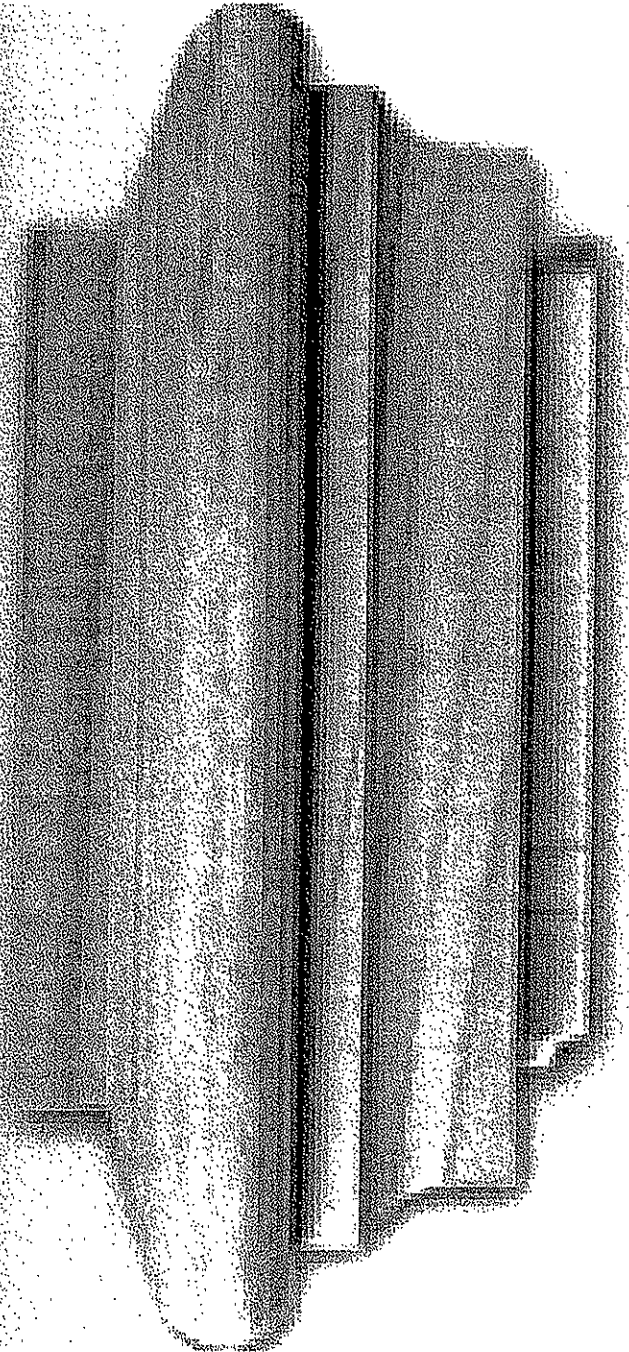
CEDAR CAPS 2

2 1x6x6 CEDAR 2

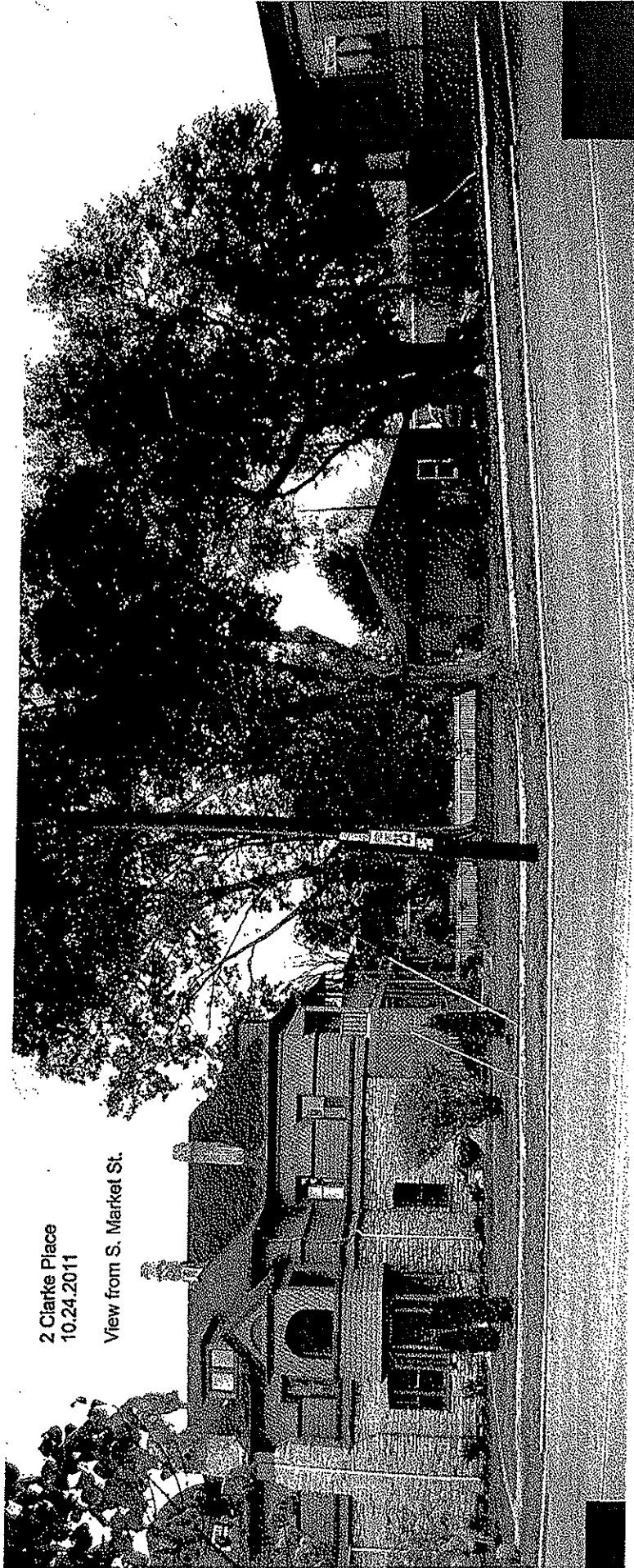
6" 0"

2 Clarke Place

CEDAR POST
CAPS

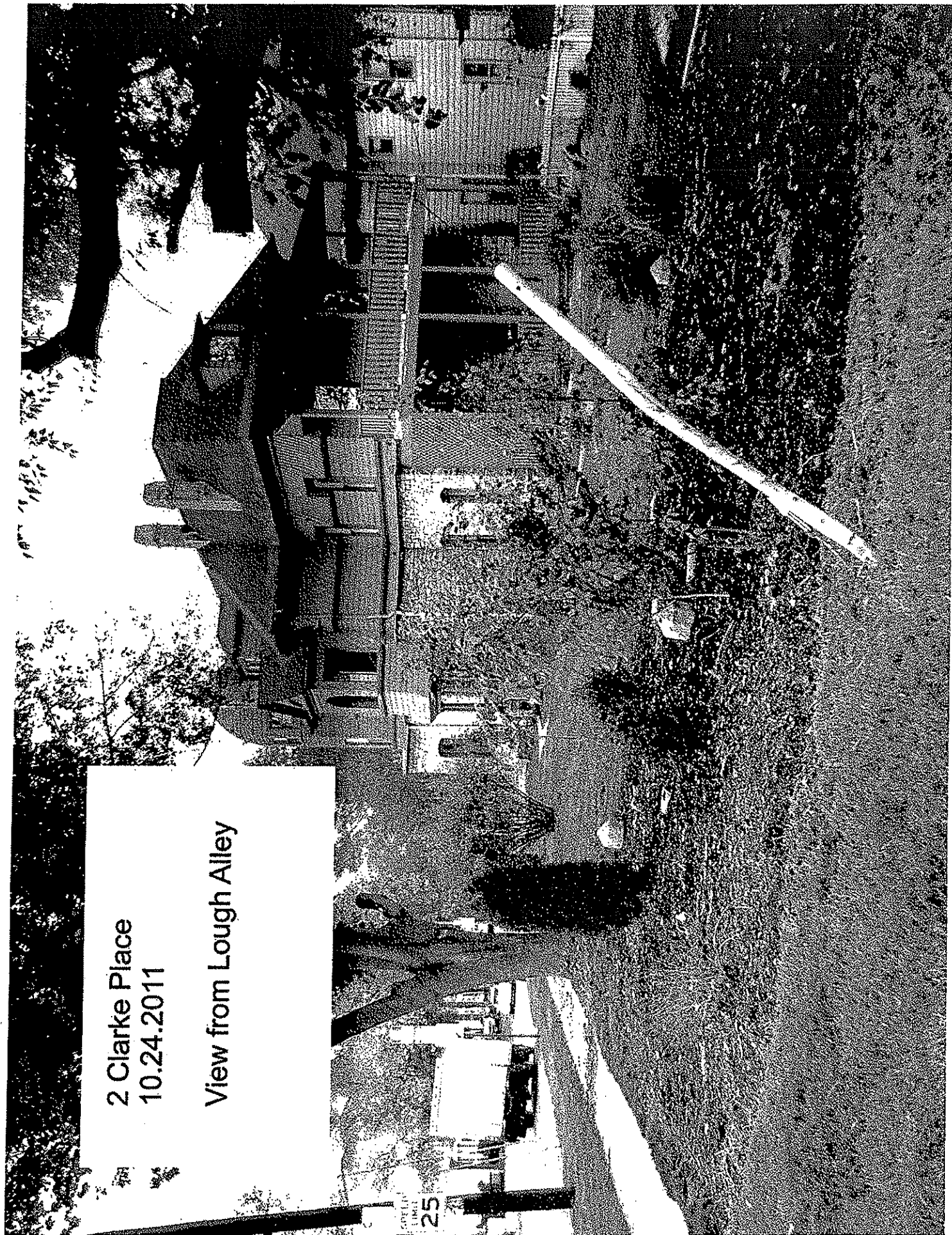


2 Clarke Place
10.24.2011
View from S. Market St.

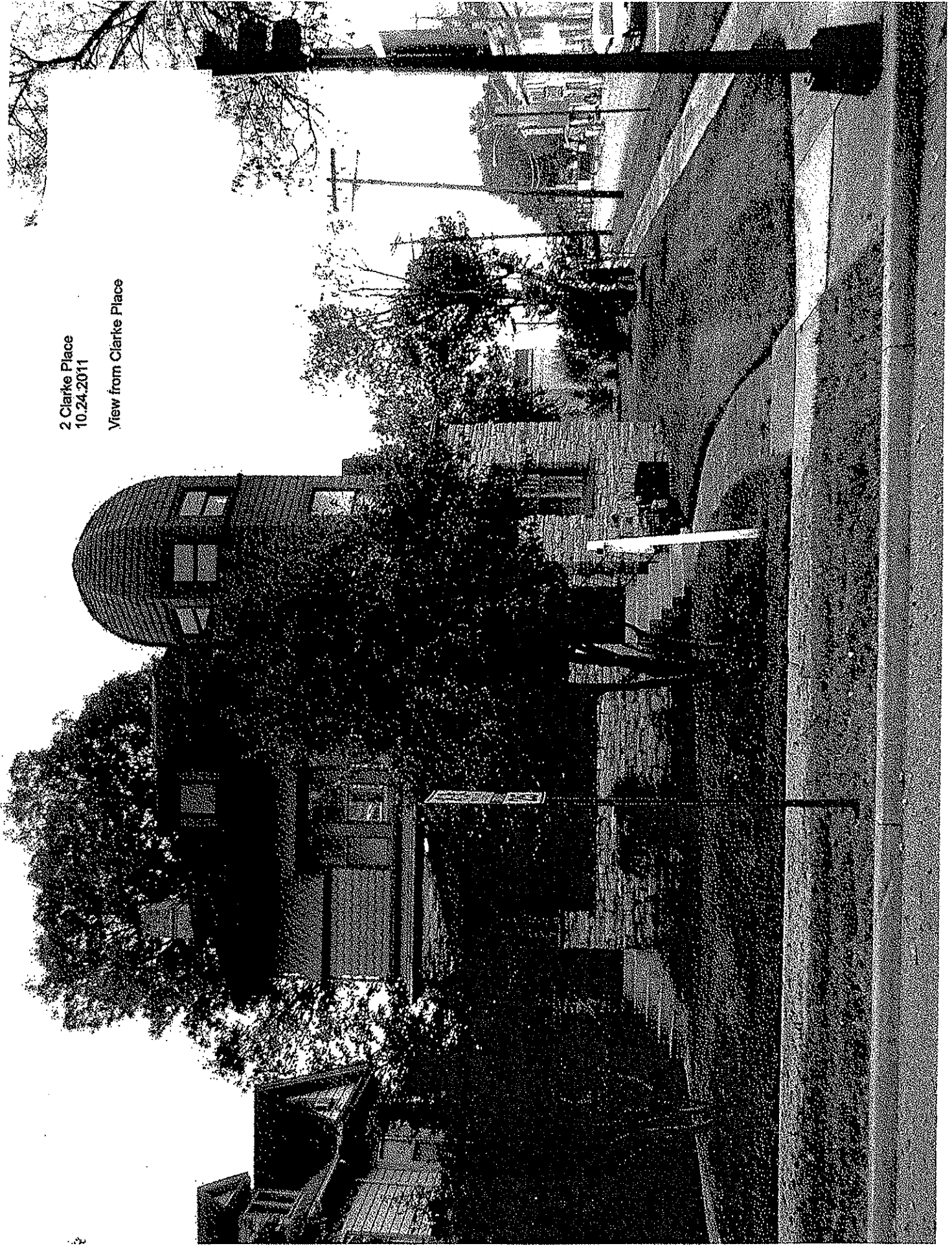


2 Clarke Place
10.24.2011

View from Lough Alley

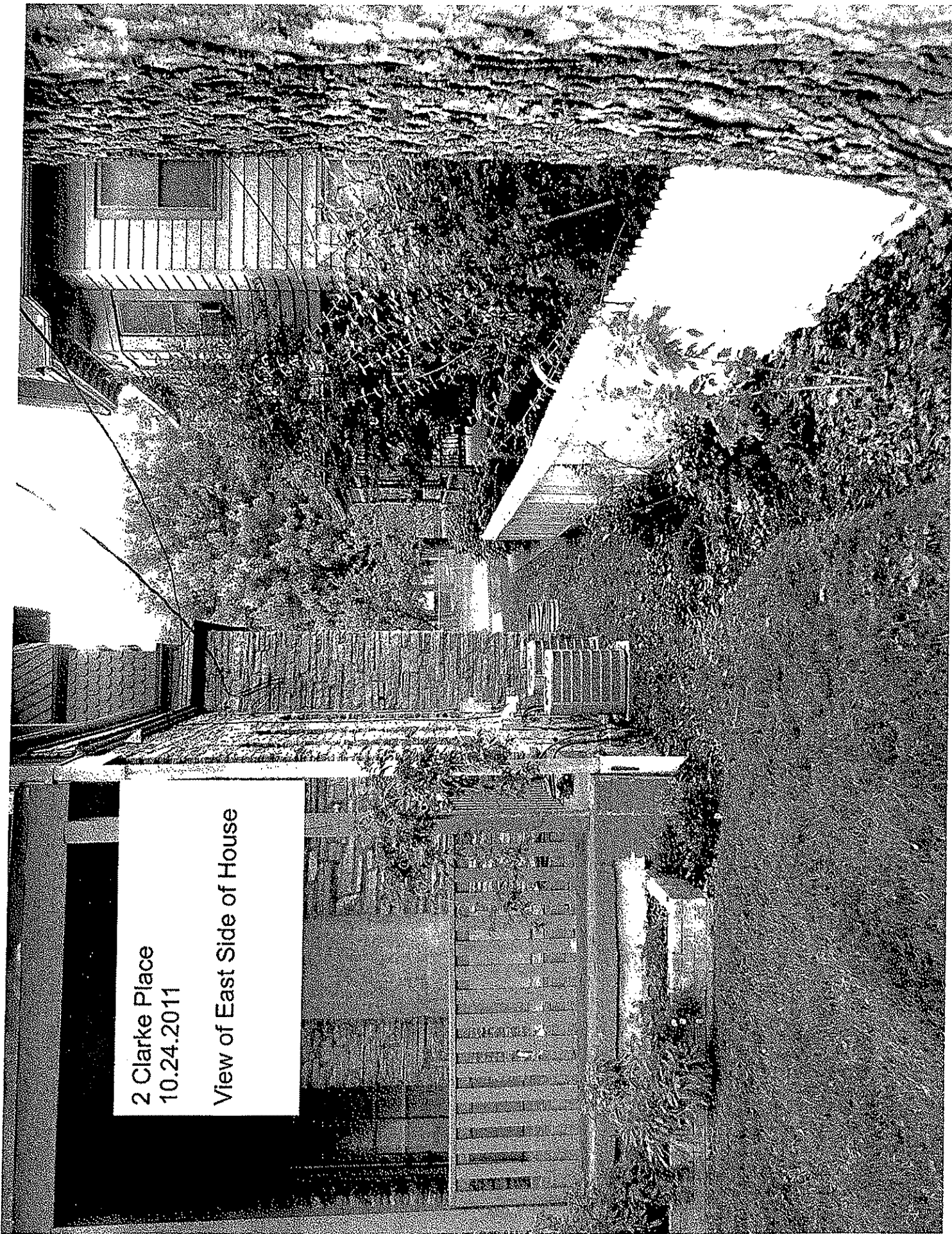


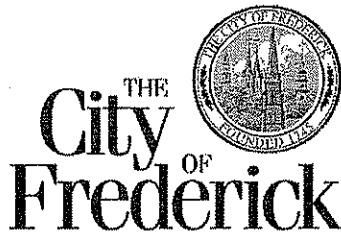
2 Clarke Place
10.24.2011
View from Clarke Place



2 Clarke Place
10.24.2011

View of East Side of House





HISTORIC PRESERVATION COMMISSION

Hearing: December 22, 2011

Staff Report

PROJECT INFORMATION

CASE NUMBER: HPC11-755
CITATION ISSUED: Yes
ADDRESS: 116.5 W 5th St.
APPLICANT NAME: Jean-Louis Lepage
PREPARED BY: Christina Martinkosky
DATE: December 6, 2011

PROJECT DESCRIPTION

The applicant seeks post-construction approval to re-clad the walls of a one-story, one-bay shed with T1-11 siding, and re-sheath the roof with asphalt shingles.

ZONING AND DEVELOPMENT REVIEW PRELIMINARY ASSESSMENT

COMPLIANCE WITH HPC GUIDELINES

This application meets submission requirements: ☒ Yes ☐ No

This application meets the *Frederick Town Historic District Design Guidelines*:

☐ Yes ☒ No

STAFF COMMENTS:

Sanborn maps and photographic evidence indicate that the shed was constructed sometime between 1960 and 1983. It is unknown what material originally clad the frame walls; however the current owner has stated that the previous cladding was plywood. Aerial photographs suggest that the roof was covered in metal.

The *Frederick Town Historic District Design Guidelines* state that "Certain materials, including but not limited to the following, are not appropriate and will not be approved for rehabilitation in the Historic District: composite decking and accessories, vinyl and aluminum siding, cementitious siding and shingle, T1-11, brick and stone veneers, particle board and asphalt and asbestos siding" (pg. 64). The proposed use of T1-11 siding for this structure does not meet the standards set by the *Design Guideline*.

The use of asphalt shingles is allowed in the historic district in certain situations. The *Design Guidelines* state that "Asphalt shingles can be used to replace existing asphalt or asbestos shingles and on additions, but otherwise they are not permitted unless evidence of their use exists under later roofs" (pg. 61). Aerial Photographs suggests that the roof was covered in metal rather than

asphalt shingles. The change of roofing material does not meet the standards set by the *Design Guideline*.

As this is a non-contributing resource the Commission may deviate from the guidelines only if:

- The integrity of the streetscape will not be compromised;
- The integrity of any surrounding historic properties will not be compromised; or
- The design integrity of the resource itself will not be compromised.

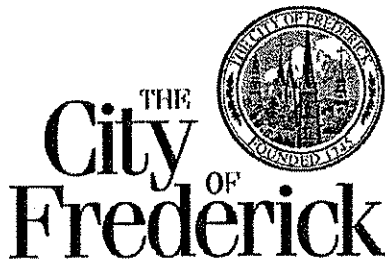
STAFF RECOMMENDATION

Although this is a non-contributing resource to the Historic District, Staff recommends denial of this application as the use of T1-11 siding and asphalt shingles is not supported by the *Frederick Town Historic District Design Guidelines*.

Application determined technically complete:


Christina Martinkosky, Historic Preservation Planner


Matthew Davis, AICP, Manager of Comprehensive Planning



Exterior Rehabilitation and Additions

For Official Use Only	
HPC Case Number:	HPC 11-755
Date Submitted:	Amt. Paid:
Hearing Date:	
Fee Schedule	
Residential&duplex (less than \$500 improvement)	\$ 5.00
Residential&Duplex (between \$501-\$5000 improvement)	\$20.00
Residential&Duplex (greater than \$5000.00 improvement)	\$50.00
Commercial & Multi-family (less than \$500 improvement)	\$10.00
Commercial & Multi-family (between \$501-\$5000 improvement)	\$ 50.00
Commercial & Multi-family (greater than \$5000 improvement)	\$250.00

Planning Department * 140 West Patrick Street * Frederick, Maryland 21701 * 301.600.1499

HISTORIC PRESERVATION COMMISSION APPLICATION EXTERIOR REHABILITATION AND ADDITIONS

All work in the historic district must comply with the *Frederick Town Historic District Design Guidelines*. The guidelines are available on the City's website (www.cityoffrederick.com), at the C. Burr Artz Library, and in the Planning Department at the Municipal Office Annex, 140 West Patrick Street.

Instructions: Submit the original application, required fees, and THIRTEEN (13) copies of the application and all supporting documents no later than 1:00 p.m. on either the first or third Thursday of the month, in order to be heard at the next workshop and hearing. Applications for work that can be approved by staff (administrative approvals) can be submitted at any time and only the original and one (1) copy need to be submitted. **This form must be completed in its entirety, with attachments, before it will be considered by the HPC or scheduled for staff approval.** Workshop and hearing attendance is mandatory for a case to be heard by the HPC. For further information, contact the Planning Department at 301-600-1499.

PROPERTY ADDRESS 116 1/2 W. S St Frederick, MD 21701		Tax ID: 02-058979
OWNER INFORMATION		Lot Number:
Name: Jean-Louis Lepage		
Address: 407 N. Market St		
City/State/Zip: Frederick, MD 21701		
Phone: 301-694-0000 x201 email: Jean-Louis@Custom-Imprints.com		
AGENT INFORMATION (Agent Authorization Form required if owner will not represent the property)		
Contact Name:		
Firm/Company:		
Address:		
City/State/Zip:		
Phone: email:		
BRIEFLY DESCRIBE ALL PROPOSED WORK (details required on page 2)		
replace plywood outside of shed with pre-finished plywood		
replace shingles		
repainting of existing door.		

OWNER OR AGENT SIGNATURE

I hereby certify that the owner or his/her agent will make every effort to attend the Historic Preservation Commission workshop and hearing for which this application is scheduled. I understand that should the owner or his/her agent fail to attend this meeting, the HPC will continue this case until the next regular public meeting. This certification constitutes my agreement to an extension of the 45-day review period, as set forth in Art. 66B Sec. 8.12(e) of the Maryland Code and Sec. 423(d)(8) of the Land Management Code, in the event that I fail to attend the aforementioned meetings. My application may be continued no more than two (2) times. If I fail to attend the meeting following the second continuance, I understand that my application will be deemed to be withdrawn and no further action will be taken by the Commission.

I/we have reviewed the *Frederick Town Historic District Guidelines* _____ (initial)

I/we agree to post a copy of the Certificate of Approval (COA) along with the permit on the subject premises in a place of public view gm (initial)

☒ Please check here if the HPC and staff have permission to enter the yard to view the project.

☒ Please check here if this case has been cited by Code Enforcement and attach a copy of the citation letter.

Property Owner or Agent Signature

Date

11/21/2011

CHECK IF APPLICABLE

☐ Owner will apply for Federal Rehabilitation Tax Credits

☐ Owner will apply for Maryland Heritage Preservation Tax Credits

If either box is checked, has the Maryland Historical Trust been contacted? ☐ Yes ☐ No

HISTORICAL INFORMATION

Please provide as much of the following information as possible. Provide additional history, if known, and sources of information on additional sheets. Leaving this section incomplete will not delay the application.

1. Date of construction N/A Source of information _____
2. Former uses, if different from present use, and approximate dates of those uses. Shed
3. Major additions and alterations to building, including date of work. _____

PRIOR HPC CASES

Hearing Date	Case Number	Work Approved or Denied

REQUIRED ATTACHMENTS FOR ALL APPLICATIONS

The following materials must be submitted by the application deadline. Applicants will be notified if the application is incomplete or if submitted material is inadequate. Please check items that are attached.

☒ **Photos of existing conditions.** Images must be clear and must cover the front of the building, the rear of the building, and any site or building elements directly affected by the proposed rehabilitation. Only one original, color photo of each view is required. The 13 copies can be black-and-white or color photocopies. Please label each photo with the address of the property, the date, and the elevation or view.

☐ **Written scope of work.** The scope of work must be a detailed explanation of the proposed modifications to the building and a description of the proposed work. **The scope of work must include a list of all construction materials and products.** Please include repair and cleaning techniques that will be used and other information that will help the Commission evaluate the proposal. The scope of work can be a detailed proposal from a contractor.

☐ **Product descriptions.** Attach copies of catalog cut sheets or other product literature for all proposed products.

☐ **Plans, elevations, and detail drawings, with dimensions.** Rehabilitation work that results in a modification to any elevation or the landscape must be accompanied by drawings that show the proposed work.

REQUIRED ATTACHMENTS FOR ADDITIONS

☐ **Site plan.** The site plan must show the location of the addition. It must indicate lot lines, adjacent streets and alleys, the footprint of all buildings and structures, and site features such as fences and parking. The adjacent walls of neighboring buildings and structures also must be shown. If possible, please scale drawings to 1"=10' or 1"=20'. Plans must be folded to 8 1/2" x 11".



CITY OF FREDERICK
DEPARTMENT OF CODE ENFORCEMENT
140 WEST PATRICK STREET
FREDERICK, MARYLAND 21701
301-600-3825



Notice of Violation

☐ 1st Notice

☐ 2nd Notice

☒ Final Notice

TO: Jean-Louis Lepage DATE: 11-9-2011

ADDRESS: 407 N. Market St.

As a result of a complaint or inspection, we have determined that there exist on the property of
116 1/2 W. 5th St. violations of The Frederick City Code of Laws:

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Building Code | <input checked="" type="checkbox"/> Electrical Code | <input checked="" type="checkbox"/> Land Management Code |
| <input checked="" type="checkbox"/> Historic District Ordinance | <input type="checkbox"/> Code of Laws | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Plumbing Code | <input type="checkbox"/> MD State Fire Prevention Code | |

In particular, the following violation(s):

- | | |
|--|--|
| <input checked="" type="checkbox"/> Construction without a Bldg. Permit <u>5-14</u> | <input checked="" type="checkbox"/> Zoning Certificate Required <u>302-A</u> |
| <input type="checkbox"/> Expired Building Permit _____ | <input type="checkbox"/> Temporary Signs Prohibited _____ |
| <input type="checkbox"/> Expired Building Permit Application _____ | <input type="checkbox"/> Off-Site Directional Sign _____ |
| <input checked="" type="checkbox"/> Electrical Installation without a Permit <u>26-19A</u> | <input type="checkbox"/> Site Plan Required _____ |
| <input type="checkbox"/> Electrical Installation without a License _____ | <input type="checkbox"/> Use & Occupancy without Certificate _____ |
| <input type="checkbox"/> Plumbing Installation without a Permit _____ | <input type="checkbox"/> Sign-In Right-of-Way _____ |
| <input type="checkbox"/> Plumbing Installation without a License _____ | <input type="checkbox"/> Installation of Sign w/o Permit _____ |
| <input checked="" type="checkbox"/> Historic District Approval Required _____ | <input type="checkbox"/> Seasonal Sales of Christmas Trees _____ |
| | <input type="checkbox"/> Other _____ |

As a result of this violation, you are required to:

- | |
|--|
| <input checked="" type="checkbox"/> Stop Work Immediately |
| <input type="checkbox"/> Correct/Remove the Violation within _____ |
| <input checked="" type="checkbox"/> Submit an Application(s) to <u>HPC, Building, Zoning</u> |
| Phone <u>301-600-1248</u> On or Before <u>11-14-2011</u> |
| <input type="checkbox"/> Amend Your Site Plan |

As a result of this violation, a penalty (fine)

- | |
|---|
| <input type="checkbox"/> is being issued in the amount of _____ |
| <input checked="" type="checkbox"/> of <u>\$500.00</u> will be issued if notice is not complied with <u>per violation</u> |

Comments/Description:

You must get approvals for all work being done inside garage as well as construction of shed.

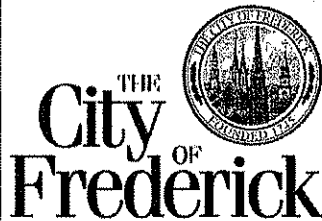
Inspector Roy S. Singer Telephone No. 301-600-6922

NOTE (1): The City may take the necessary action to abate the violation and charge the cost thereof to the property owner or person responsible. NOTE (2): Failure to comply may result in further legal action or assessment of penalties.

APPEALS TO THIS NOTICE MUST BE MADE IN WRITING TO:

- | |
|---|
| <input type="checkbox"/> MANAGER OF DEPT. OF CODE ENFORCEMENT WITHIN _____ DAYS |
| <input checked="" type="checkbox"/> ZONING ADMINISTRATOR WITHIN <u>5</u> DAYS |

March 2008



HISTORIC PRESERVATION COMMISSION

Hearing: December 22, 2011

Staff Report

PROJECT INFORMATION

CASE NUMBER: HPC11-765
CITATION ISSUED: No
ADDRESS: 45 N Market St
APPLICANT NAME: James Hickey
PREPARED BY: Lisa Mroszczyk Murphy
DATE: December 15, 2011

PROJECT DESCRIPTION

This application concerns the replacement of an existing awning with a new shed style awning measuring 28'-6" long, 3'-0" tall and 2'-4" deep with a 6" taut valence. The awning will be constructed with a fixed aluminum frame and acrylic fabric. Signage will be painted on the valence, ends and face of the awning. This application also includes the installation of a small gooseneck light fixture above an existing panel sign.

ZONING AND DEVELOPMENT REVIEW PRELIMINARY ASSESSMENT

COMPLIANCE WITH HPC GUIDELINES

This application meets submission requirements: ☒ Yes ☐ No

This application meets the *Frederick Town Historic District Design Guidelines*:

☐ Yes ☒ No

STAFF COMMENTS:

Regarding awnings, the *Frederick Town Historic District Design Guidelines* state (p. 93-94):

- Unless historic photographic or other documentation suggest a different style previously existed, shed-type fabric awnings that slope away from the building will be the only type of awning approved by the Commission.
- Awnings should include a loose valence.
- Canvas and synthetic materials that closely resemble canvas are permitted for awnings.
- The fabric should be slightly loose on the frame and the valences should hang freely.
- Awnings must correspond with existing openings.
- A valence or skirt on an awning can be straight or scalloped, but should not be taut.

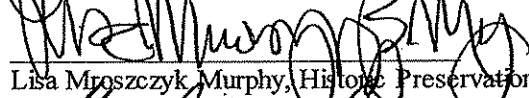
The proposed awning is appropriate in terms of its size, shape and material. In order to be consistent with the Commission's *Guidelines* and compatible with historic awnings, the proposal


should incorporate a loose valence. Staff does not have any comment on the proposed light fixture.

STAFF RECOMMENDATION

Staff recommends approval of the application to install a 28'-6" long, 3'-0" tall and 2'-4" deep awning with a fixed aluminum frame and acrylic fabric with condition that the 6" valence hangs freely and signage on the valence is limited to a height of 4". Staff also recommends approval for the installation of 15" aluminum gooseneck light fixture with a black finish above the existing panel sign.

Application determined technically complete:


Lisa Mroszczyk Murphy, Historic Preservation Planner


Matthew Davis, AICP, Manager of Comprehensive Planning

Lisa Mroszczyk

From: jhickeyiii@comcast.net
Sent: Tuesday, December 13, 2011 1:15 PM
To: Lisa Mroszczyk
Subject: Re: HPC Application- 45 N Market Street
Attachments: Sign Lighting.docx

Hi Lisa,
Disregard the noted measurements - sorry about that. The lettering will be 4 inches tall on the six inch valence. Also I have attached a picture of the light fixture and description. Thanks
Jim

Lisa Mroszczyk

From: jhickeyiii@comcast.net
Sent: Tuesday, December 13, 2011 10:09 AM
To: Lisa Mroszczyk
Cc: jhickeyiii@comcast.net
Subject: Re: HPC Application- 45 N Market Street

Follow Up Flag: Follow up
Due By: Tuesday, December 13, 2011 12:00 PM
Flag Status: Flagged

Good Morning Lisa,

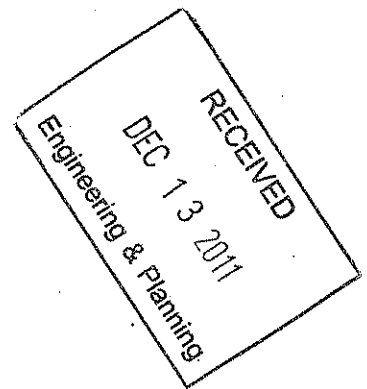
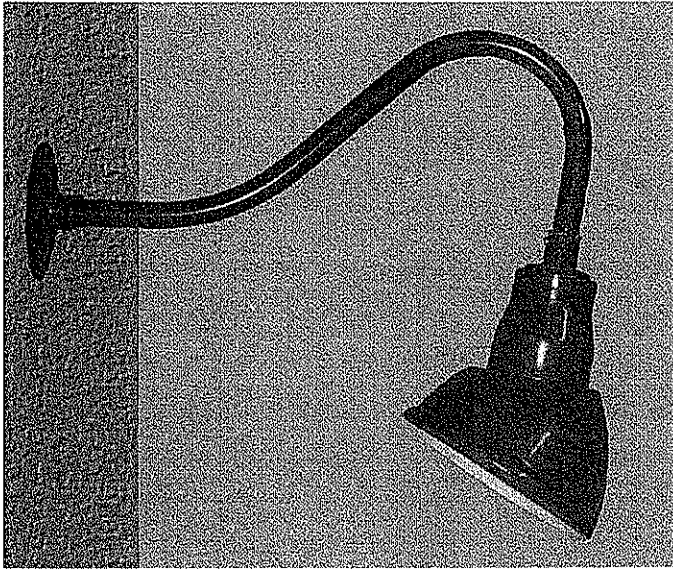
The valence will be a 6 inch high sign panel with the graphics on it. It will be taut, and the bottom of it will be 8 feet above the sidewalk.

The plan for the light is for us to install a small spotlight mounted to the front of the building, directly above the wall mounted sign, up under the awning. It will be approximately 9 feet above the sidewalk, protrude about 15 inches, and angle down to spotlight the sign.

Let me know if you need any more information.

Thank you,

Jim Hickey
The Orchard



Outdoor All Aluminum Gooseneck Sign Lighting. Small angle shade on a short gooseneck arm, 6 3/4" wide, 15 1/2" high, 15" extension, One 100 Watt maximum incandescent bulb (bulb not included)
Painted Finish Black



Exterior Rehabilitation and Additions

For Official Use Only	
HPC Case Number:	11-765
Date Submitted:	Amt. Paid:
Hearing Date:	12/22/11
Fee Schedule	
Residential&duplex (less than \$500 improvement)	\$ 5.00
Residential&Duplex (between \$501-\$5000 improvement)	\$20.00
Residential&Duplex (greater than \$5000.00 improvement)	\$50.00
Commercial & Multi-family (less than \$500 improvement)	\$10.00
Commercial & Multi-family (between \$501-\$5000 improvement)	\$ 50.00
Commercial & Multi-family (greater than \$5000 improvement)	\$250.00

Planning Department * 140 West Patrick Street * Frederick, Maryland 21701 * 301.600.1499

HISTORIC PRESERVATION COMMISSION APPLICATION EXTERIOR REHABILITATION AND ADDITIONS

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Instructions: Submit the original application, required fees, and THIRTEEN (13) copies of the application and all supporting documents no later than 1:00 p.m. on either the first or third Thursday of the month, in order to be heard at the next workshop and hearing. Applications for work that can be approved by staff (administrative approvals) can be submitted at any time and only the original and one (1) copy need to be submitted. **This form must be completed in its entirety, with attachments, before it will be considered by the HPC or scheduled for staff approval.** Workshop and hearing attendance is mandatory for a case to be heard by the HPC. For further information, contact the Planning Department at 301-600-1499.

PROPERTY ADDRESS	45 N. Market St	Tax ID:	
		Lot Number:	
OWNER INFORMATION			
Name:	Downtown Professional Bldg		
Address:	178 Thomas Johnson Drive, Suite 201		
City/State/Zip:	Frederick MD 21702		
Phone:	301-663-8383	email:	
AGENT INFORMATION (Agent Authorization Form required if owner will not represent the property)			
Contact Name:	Eileen Hickey		
Firm/Company:	The Orchard		
Address:	45 N. Market St		
City/State/Zip:	Frederick, MD		
Phone:	301-865-0816	email:	j.hickeyiii@comcast.net
BRIEFLY DESCRIBE ALL PROPOSED WORK (details required on page 2)			
Replace awning.			
Place recessed/hidden spotlight above sign for illumination.			

OWNER OR AGENT SIGNATURE

I hereby certify that the owner or his/her agent will make every effort to attend the Historic Preservation Commission workshop and hearing for which this application is scheduled. I understand that should the owner or his/her agent fail to attend this meeting, the HPC will continue this case until the next regular public meeting. This certification constitutes my agreement to an extension of the 45-day review period, as set forth in Art. 66B Sec. 8.12(e) of the Maryland Code and Sec. 423(d)(8) of the Land Management Code, in the event that I fail to attend the aforementioned meetings. My application may be continued no more than two (2) times. If I fail to attend the meeting following the second continuance, I understand that my application will be deemed to be withdrawn and no further action will be taken by the Commission.

I/we have reviewed the *Frederick Town Historic District Guidelines* ECV (initial)

I/we agree to post a copy of the Certificate of Approval (COA) along with the permit on the subject premises in a place of public view ECV (initial)

☒ Please check here if the HPC and staff have permission to enter the yard to view the project.

☐ Please check here if this case has been cited by Code Enforcement and attach a copy of the citation letter.

Property Owner or Agent Signature

Date

11/29/11

CHECK IF APPLICABLE

☐ Owner will apply for Federal Rehabilitation Tax Credits

☐ Owner will apply for Maryland Heritage Preservation Tax Credits

If either box is checked, has the Maryland Historical Trust been contacted? ☐ Yes ☐ No

HISTORICAL INFORMATION

Please provide as much of the following information as possible. Provide additional history, if known, and sources of information on additional sheets. Leaving this section incomplete will not delay the application.

1. Date of construction _____ Source of information _____
2. Former uses, if different from present use, and approximate dates of those uses. _____

3. Major additions and alterations to building, including date of work. _____

PRIOR HPC CASES

Hearing Date	Case Number	Work Approved or Denied

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The following materials must be submitted by the application deadline. Applicants will be notified if the application is incomplete or if submitted material is inadequate. Please check items that are attached.

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☐ **Written scope of work.** The scope of work must be a detailed explanation of the proposed modifications to the building and a description of the proposed work. **The scope of work must include a list of all construction materials and products.** Please include repair and cleaning techniques that will be used and other information that will help the Commission evaluate the proposal. The scope of work can be a detailed proposal from a contractor.

☐ **Product descriptions.** Attach copies of catalog cut sheets or other product literature for all proposed products.

☐ **Plans, elevations, and detail drawings, with dimensions.** Rehabilitation work that results in a modification to any elevation or the landscape must be accompanied by drawings that show the proposed work.

REQUIRED ATTACHMENTS FOR ADDITIONS

☐ **Site plan.** The site plan must show the location of the addition. It must indicate lot lines, adjacent streets and alleys, the footprint of all buildings and structures, and site features such as fences and parking. The adjacent walls of neighboring buildings and structures also must be shown. If possible, please scale drawings to 1"=10' or 1"=20'. Plans must be folded to 8 1/2" x 11".

AGENT AUTHORIZATION LETTER

CITY OF FREDERICK HISTORIC DISTRICT COMMISSION

(Please type or print in ink all responses, except signatures, which should be written in ink.)

I/WE, Nelson Zahler, representing
(Owners' names)

Downtown Professional Building LLC
(Corporate name, if applicable)

being the current owner(s) of the property legally described as follows:

43-45 North Market St and 6 W Church St in Downtown Frederick
(Address and legal description)

do hereby designate and authorize James Hickey
(Individual's name - please type or print in ink)

representing The Orchard - Carroll Crest Cgs Inc.
(Corporate name, if applicable)

to act as my/our agent and to sign forms necessary to apply to the Historic District Commission for approval for work to be undertaken at the property identified above and described in the attached HDC application.

[Signature]
(Signature of property owner)

NELSON S. ZAHLER
(Type or print name of signatory)

(Signature of property owner)

(Type or print name of signatory)

Downtown Professional Building LLC
(Title and corporate name, if applicable)

State of _____, County of _____

The foregoing indenture was acknowledged before me this

23 day of April, 20 10

by Nelson Zahler
who is personally known to me, or who has produced

as identification, and who did/did not take an oath.

[Signature], Notary Public, State of MD
(Notary's signature)

Commission No. _____ My Commission Expires: 1/14/2014

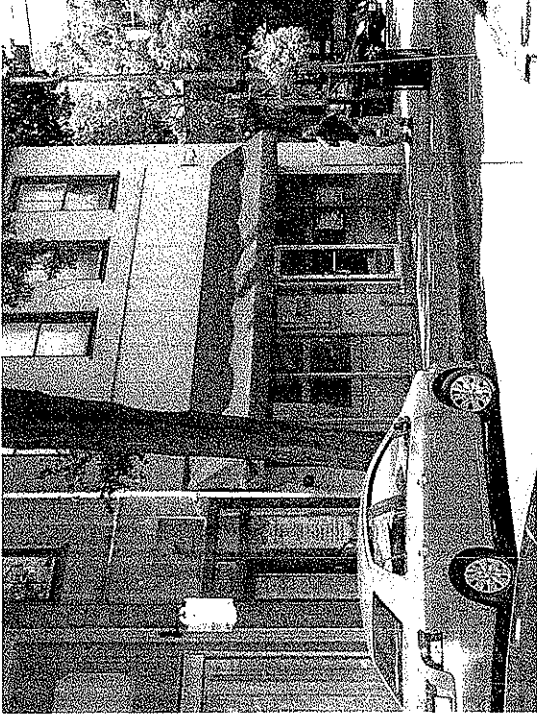
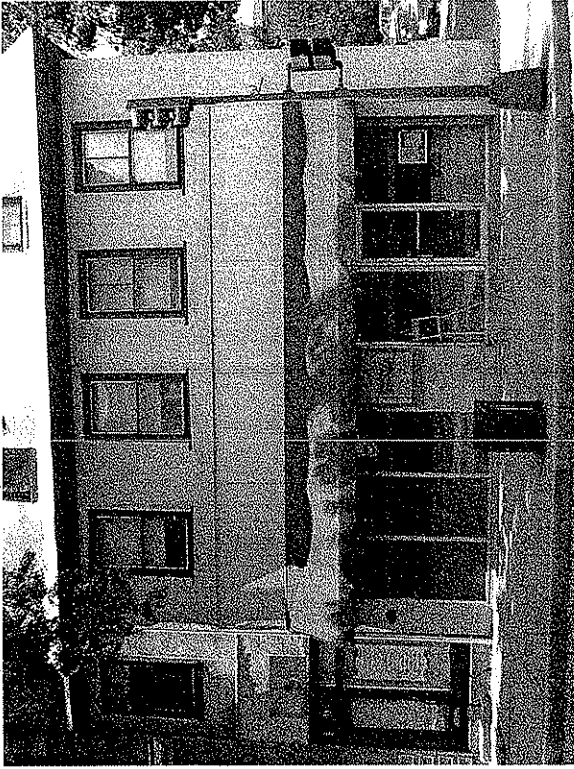
Name of notary (typed, printed, or stamped) _____

Rev. 2/1/08

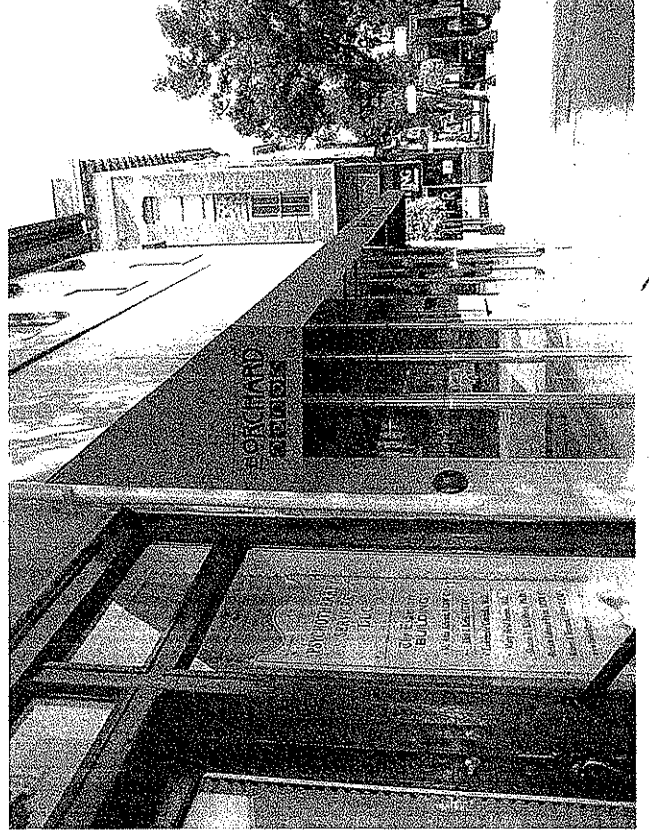
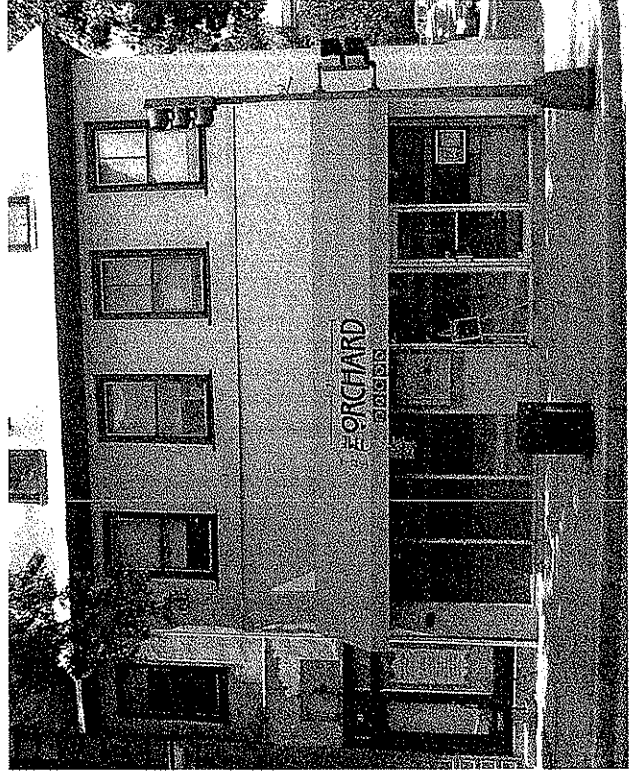
ROBYN L MILLER
NOTARY PUBLIC
WASHINGTON COUNTY
MARYLAND

Quality Planning for The City of Frederick

The Orchard 45 N Market St



Current



Proposed Changes (adding "Tuscan")

Written Scope of Work

45 North Market St./The Orchard

Complete replacement of existing awning. New awning will be shed style with dimensions of 28 ft 6 inch long, 36 inches tall, and a 28 inch projection. Frame will be all aluminum, mig welded, mill finished. Fabric : Sattler 314 014 UV80.

Name/logo will be painted in black in front mid-section of awning and on both sides.

Placement of hidden spotlight under awning to illuminate sign.